



# SAN FRANCISCO PLANNING DEPARTMENT

**MEMO**

## Disclaimer for Review of Plans

The San Francisco Planning Code requires that the plans of certain proposed projects be provided to members of the public prior to the City's approval action on the project. Accordingly, any images of plans featured on this website are provided for the primary purpose of facilitating public input prior to the City's action. The City and County of San Francisco does not own the copyright to these images. Please be aware that the unauthorized reproduction, distribution, or alteration of these images may result in a violation of Federal Copyright Law (17 U.S.C.A. Sections 101 et seq.) and that any party who seeks to reproduce or alter these images does so at his or her own risk.

Additionally, plans provided on this website are limited to site plans, elevations and/or section details (floor plans and structural details may not be included). These are DRAFT PLANS being provided for public review PRIOR to the City's approval action on the project. Final plans may differ from those that are currently available for review.

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# SAN FRANCISCO PLANNING DEPARTMENT

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## NOTICE OF PUBLIC HEARING

Hearing Date: **Wednesday, October 28, 2009**  
 Time: **Beginning at 9:30 AM**  
 Location: **City Hall, 1 Dr. Carlton B. Goodlett Place, Room 408**  
 Case Type: **Variance (Rear Yard and Exposure)**  
 Hearing Body: **Zoning Administrator**

PROPERTY INFORMATION		APPLICATION INFORMATION	
Project Address:	<b>340 S Van Ness Ave</b>	Case No.:	<b>2008.0311V</b>
Cross Street(s):	<b>14<sup>th</sup> and 15<sup>th</sup> Streets</b>	Building Permit:	<b>N/A</b>
Block /Lot No.:	<b>3548/007</b>	Applicant/Agent:	<b>David Madfes</b>
Zoning District(s):	<b>UMU / 58-X</b>	Telephone:	<b>(415) 664-4458</b>
Area Plan:	<b>Mission</b>	E-Mail:	<a href="mailto:dave@madfes.com">dave@madfes.com</a>

### PROJECT DESCRIPTION

The proposal is to legalize a rear addition to the building, legalize a 3<sup>rd</sup> dwelling unit in the building, add a rooftop deck, and update the front façade.

**PER SECTION 134 OF THE PLANNING CODE** the subject property is required to maintain a rear yard of approximately 20 feet. The rear addition to be legalized encroaches upon the entire required rear yard and results in no rear yard for half of the property width; therefore, the project requires a variance from the rear yard requirement (Section 134) of the Planning Code.

**PER SECTION 140 OF THE PLANNING CODE** each dwelling unit must face a public street, public alley at least 25 feet in width, side yard at least 25 feet in width, or code complying rear yard. The proposed ground floor dwelling unit fronts a noncomplying rear yard; therefore, the project requires a variance from the exposure requirement (Section 140) of the Planning Code.

PROJECT FEATURES	EXISTING CONDITION	PROPOSED CONDITION
<b>BUILDING USE</b> .....	Multi-Family Dwelling .....	No Change
<b>FRONT SETBACK</b> .....	None .....	No Change
<b>SIDE SETBACKS</b> .....	None .....	No Change
<b>BUILDING DEPTH</b> .....	80 feet .....	No Change
<b>REAR YARD</b> .....	None .....	No Change
<b>HEIGHT OF BUILDING</b> .....	33 feet .....	No Change
<b>NUMBER OF STORIES</b> .....	3 .....	No Change
<b>NUMBER OF DWELLING UNITS</b> .....	<b>2 (legal)</b> .....	<b>3</b>
<b>NUMBER OF OFF-STREET PARKING SPACES</b> .....	1 .....	No Change

### ENVIRONMENTAL REVIEW

Department staff made a preliminary determination that the project is Categorically Exempt from California Environmental Quality Act (CEQA) Review

### ADDITIONAL INFORMATION

**FOR MORE INFORMATION, PLEASE CONTACT PLANNING DEPARTMENT STAFF:**

Planner: **Corey Teague** Telephone: **(415) 575-9081** E-Mail: [corey.teague@sfgov.org](mailto:corey.teague@sfgov.org)

**ARCHITECTURAL PLANS:** The site plan and elevations of the proposed project are available on the Planning Department's website at: [http://www.sfgov.org/site/uploadedfiles/planning/Public\\_Records/Variances/2008.0311V.pdf](http://www.sfgov.org/site/uploadedfiles/planning/Public_Records/Variances/2008.0311V.pdf)

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Para información en Español llamar al: **415.558.5952**

# GENERAL INFORMATION ABOUT PROCEDURES

## VARIANCE HEARING INFORMATION

Under Planning Code Section 306.3, you, as a property owner or resident within 300 feet of this proposed project or interested party on record with the Planning Department, are being notified of this Variance Hearing. **You are not obligated to take any action. For more information regarding the proposed work, or to express concerns about the project, please contact the Applicant/Agent or Planner listed on this notice as soon as possible.** Additionally, you may wish to discuss the project with your neighbors and neighborhood association or improvement club, as they may already be aware of the project.

Persons who are unable to attend the public hearing may submit written comments regarding this application to the Zoning Administrator, Planning Department, 1650 Mission Street, Suite 400, San Francisco, CA 94103, by 5:00pm the day prior to the hearing. These comments will be made a part of the official public record, and will be brought to the attention of the person or persons conducting the public meeting or hearing.

## BUILDING PERMIT APPLICATION INFORMATION

Under Planning Code Section 311/312, the Building Permit Application for this proposal is also subject to a 30-day notification to occupants and owners within 150-feet of the subject property. **The mailing of such notification will be performed separately.**

## BOARD OF APPEALS

An appeal of the approval (or denial) of a **variance application** by the Zoning Administrator may be made to the **Board of Appeals within 10 days** after the **Variance Decision Letter** is issued by the Zoning Administrator.

An appeal of the approval (or denial) of a **building permit application** by the Planning Department may be made to the **Board of Appeals within 15 days** after the **building permit** is issued (or denied) by the Director of the Department of Building Inspection.

Appeals must be submitted in person at the **Board's office at 1650 Mission Street, 3rd Floor, Room 304**. For further information about appeals to the Board of Appeals, including current fees, **contact the Board of Appeals at (415) 575-6880**.

### Index to Sheets

- A1 Index to Sheets, Scope of Work, Front Elevation
- A2 Plot Plan
- A3 Ground Floor Plan
- A4 Middle Floor Plan
- A5 Top Floor Plan
- A6 Roof Plan
- A7 Rear Elevation
- A8 South Side Elevation
- A9 North Side Elevation
- A10 Sections

### Scope of Work

This is a multi-phase project.  
 Interior demolition was authorized and carried out under permit application number: 2008-0129-3499 (\$10,000).  
 Seismic upgrade and repair to rot damaged wood was authorized and carried out under permit application number 2008-0528-3052 (\$84,000). This permit also envisioned finishes including an ADA compliant restroom on the first floor for an anticipated commercial establishment.  
 None of these finishes were approved by City Planning and were not built. The permit included them to conform to the established "authorized" configuration of the building rather than the "existing" configuration, so as to not authorize a conversion. The "actual existing" condition of the building is what is shown in these sheets, as was requested by City Planning. Fees for these permits were paid based on construction costs for work that was never anticipated as being completed on these permits. This application indicates construction costs over and above those already paid for.  
 Convert existing structure previously authorized as 2 residential units and 1 PDR unit to 4 residential units with parking. Work under this permit will complete the renovation of the building and will include:  
 Formed front facade.  
 Modifications to interior partition walls to sub-divide space into rooms.  
 New water gas and electrical services.  
 New rough and finish plumbing and electrical throughout.  
 New fire chases at North light well to bring vents to required height above roof deck.  
 New fire sprinklering throughout.  
 New roof deck.  
 New penthouse for stairs to roof deck - involves modifications to south light well area.  
 New staircase from ground to roof deck - involves modifications to south light well area.  
 New heating systems in all units.  
 New insulation in all walls, floor and ceilings.  
 New kitchen and bath cabinetry.  
 New street tree if authorized.

### Note to Structural Plan Checker

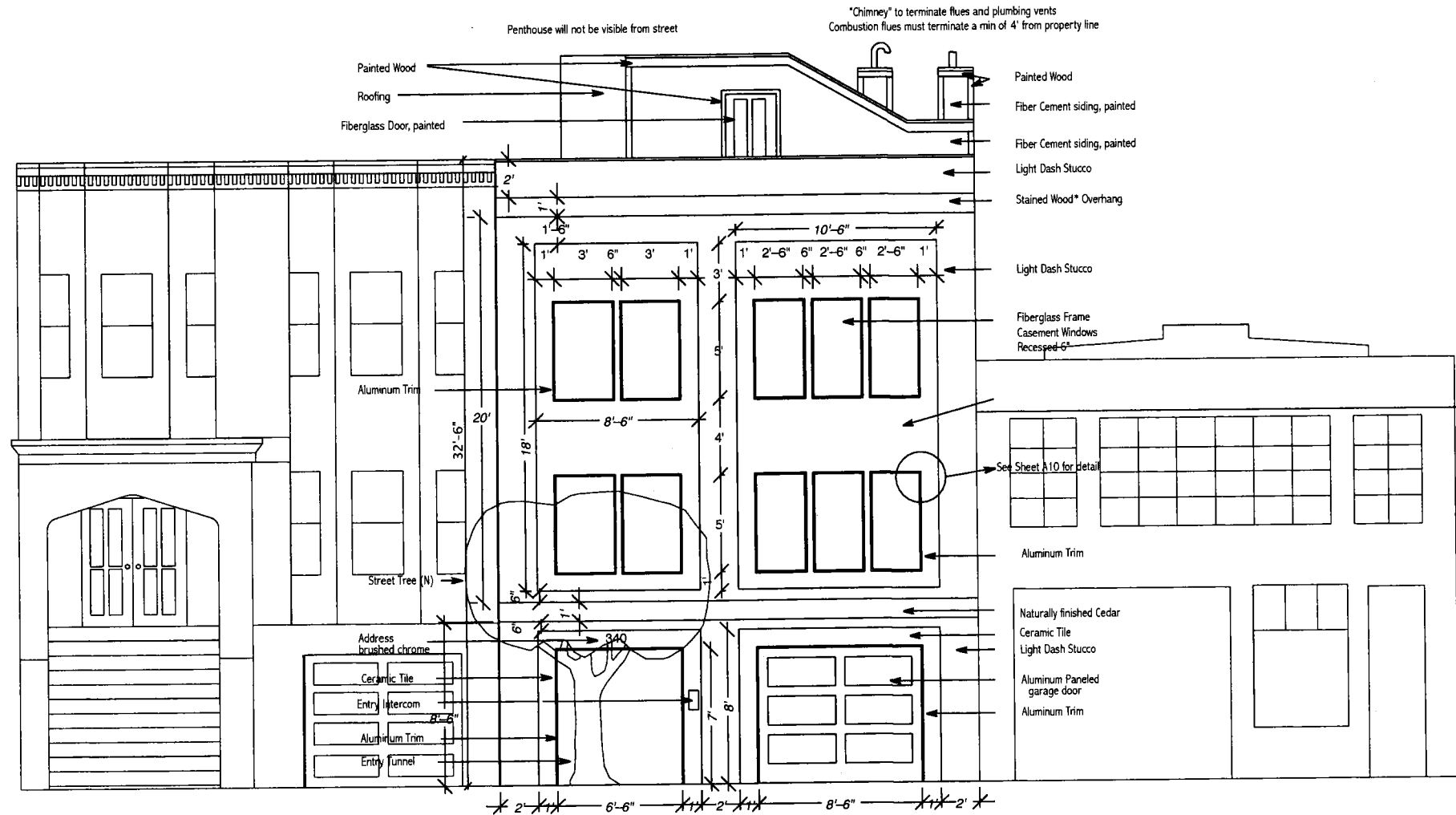
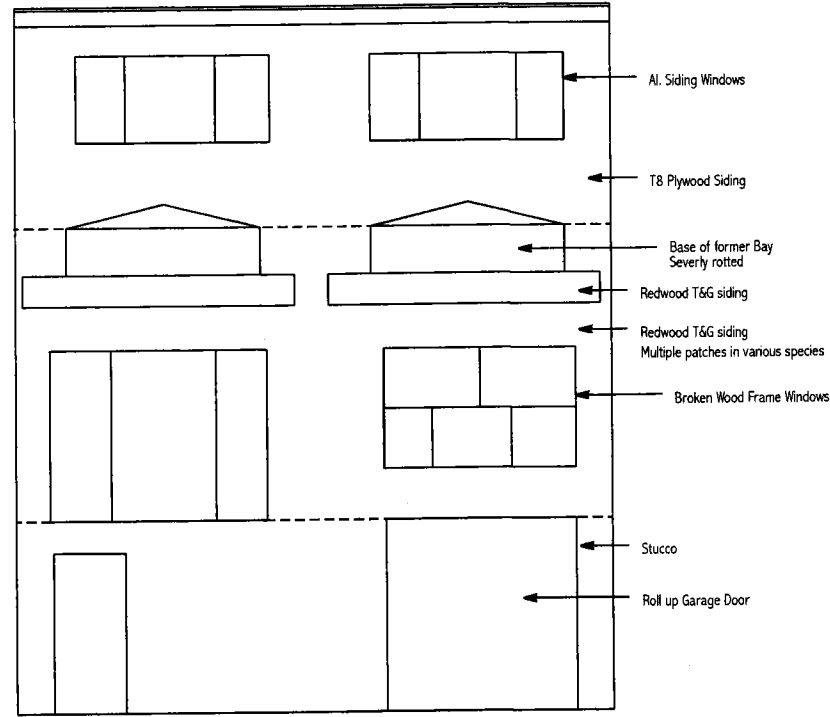
All structural work, including special inspections were carried out under permit # 2008-0528-3052

### Notes on Title 24 Energy Compliance

- Insulation Schedule:**  
 Exterior walls R-13 Fiberglass Batt  
 Floors of Middle and Top Units R-19 Fiberglass Batt  
 Floor of Ground Floor unit 4" concrete slab with 3" Polystyrene Foam beneath and 3/4" hardwood flooring above  
 Ceiling of Top Floor unit (Roof) R-30 Fiberglass Batt
- Heating:**  
 Ground Floor Unit: 92% Efficient Force Air Heater (20,000 BTU)  
 Middle and Top Floor units: 92% Efficient Force Air Heater (40,000 BTU) each
- Hot Water:**  
 Tankless (Flash) hot water heaters (one in each unit) (20,000 BTU)
- Lighting & Switching:**  
 Fluorescent lighting where high efficiency lighting is required  
 Motion sensing switching only where required  
 Dimmers on all incandescent lighting in habitable spaces
- Appliances:**  
 All refrigerators, washers, dryers, and dishwashers, will be Energy Star rated

### Notes on Finishes:

- Windows:** Milgard "Ultra" Fiberglass Casement, double pane, low e coated, "Silver" color.
- Trim:** Formed silver anodized aluminum exposing 3" as seen from front; wrapping around to face of window, garage door and entrance tunnel approximately 6".
- Wood Siding:** (Beronio siding #47) 5.5" wide clear red western cedar strip siding with small groove (< 1/4") at edge joint, finished with un-pigmented sealer.
- Garage Door:** Roll up door consisting of silver anodized aluminum frames with silver inserts



334 South Van ness

348 South Van ness

### REVISIONS

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 Moraga, CA 94556  
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## Front Elevation

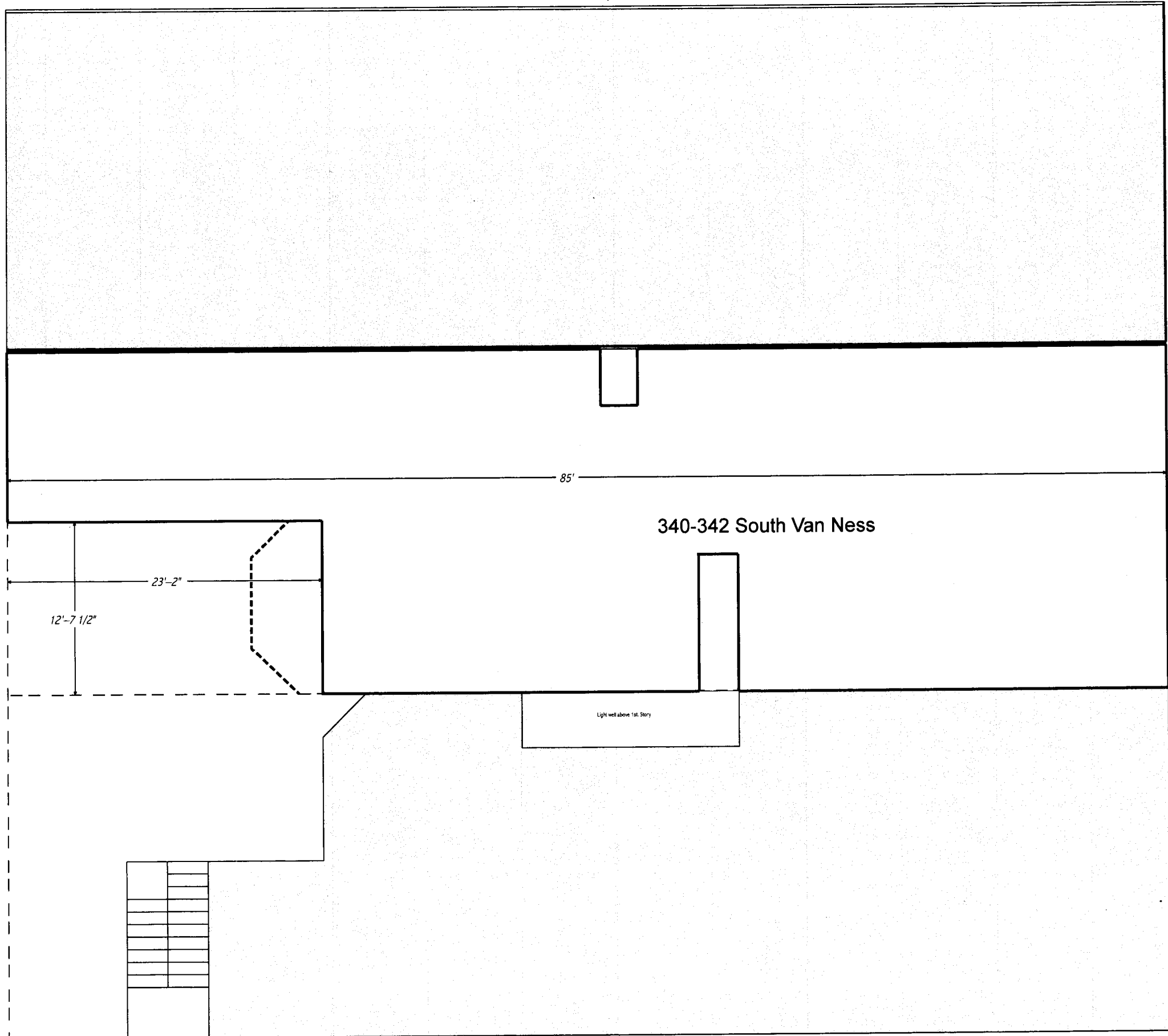
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SHEET  
**A1**

25'

25'

25'

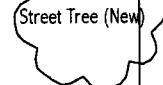


348 South Van Ness

334 South Van Ness

Driveway & Curbcut (Existing)

12' Sidewalk



Light/Power Pole (E)

North

# South Van Ness Avenue

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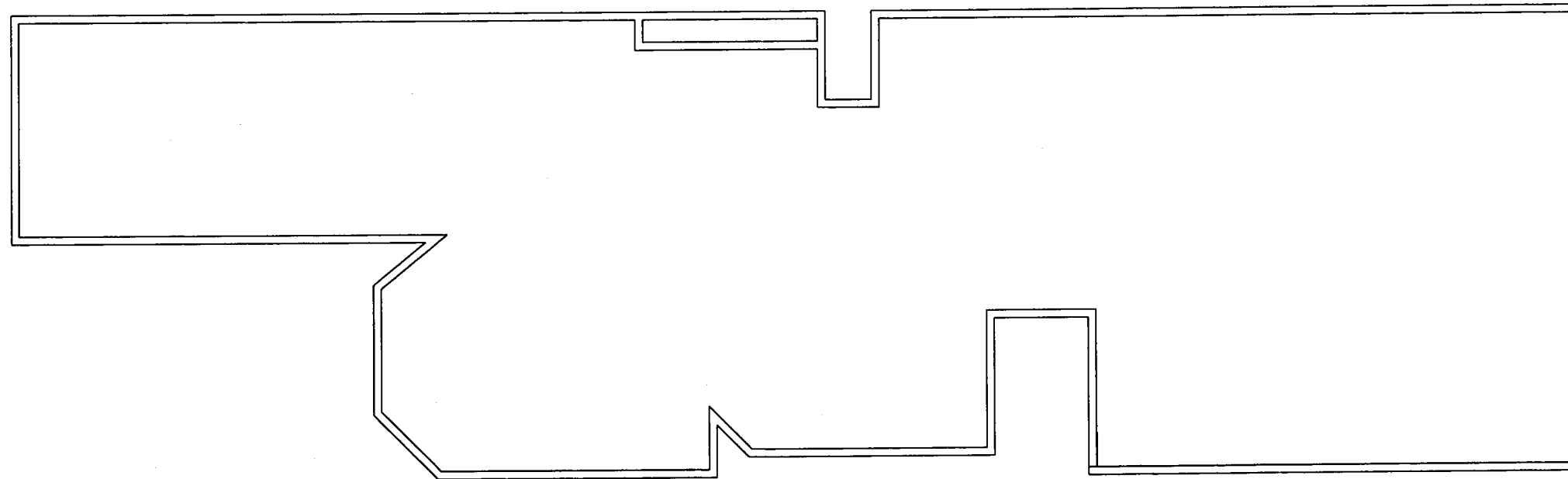
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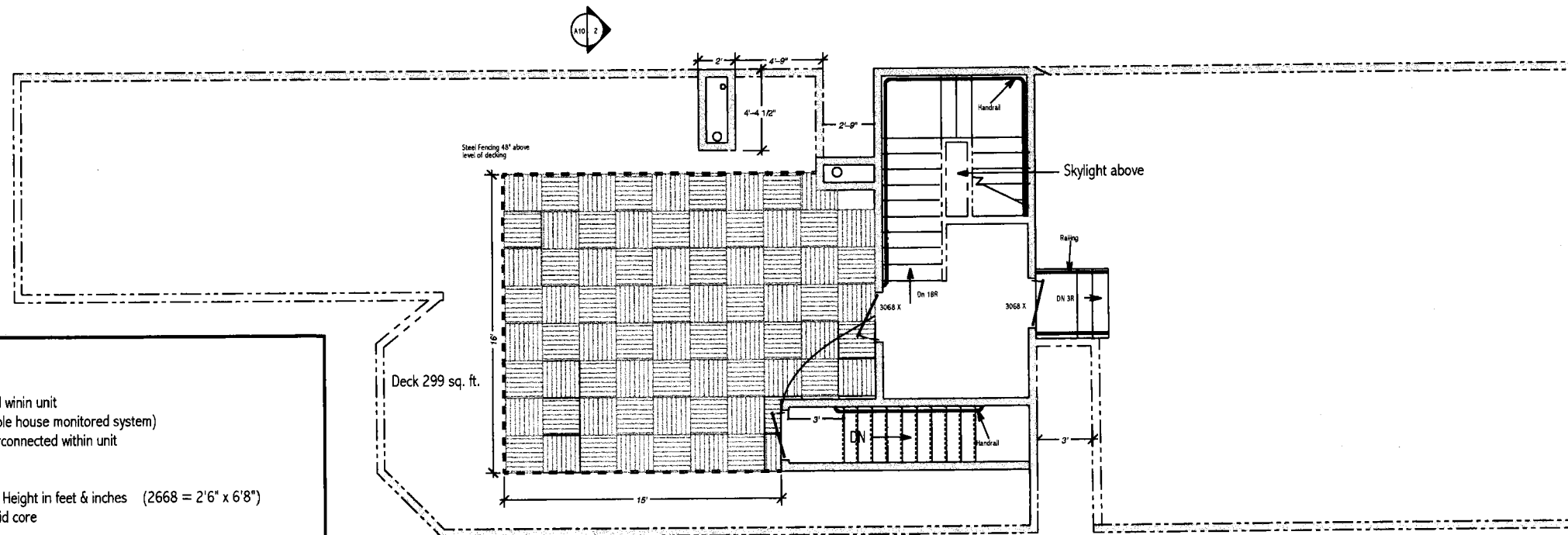
## Plot Plan

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 SHEET

# A2



Existing Conditions



Proposed

**Key:**

Fire Detection: 110v/9v interconnected winin unit  
(other detectors on whole house monitored system)

- ⊙ Smoke Detector 110v/9v interconnected within unit
- ⊕ Temp. Rise Detector

Doors:

WWHH	Width in feet & inches	Height in feet & inches	(2668 = 2'6" x 6'8")
X	Exterior Fiberglass - solid core		

Windows

WWHH	Width in Feet & Inches	Height in Feet & Inches
SL	Sliding	
DH	Double Hung	

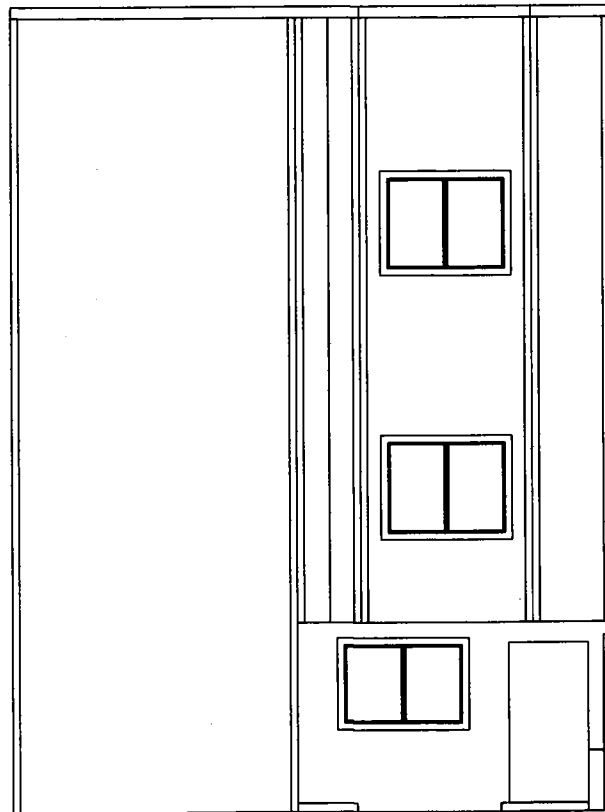
Walls

- 1 Hour wall
- Partial height wall (at roof 3' above highest point of roofing)

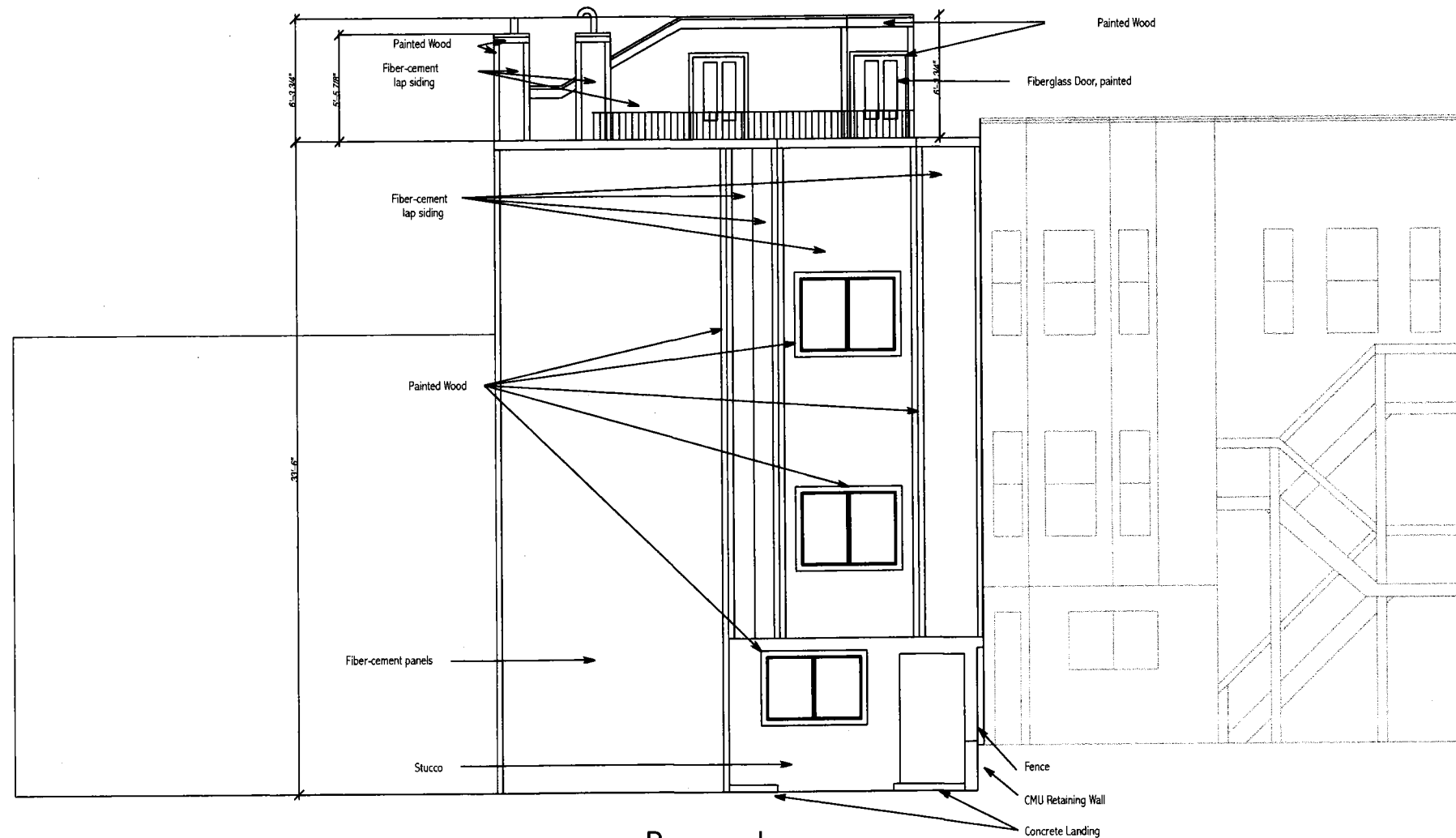
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Drawn By: <b>David Madfes</b> 1400 Portola Drive San Francisco, CA 94127 dave@madfes.com 415-602-4458
Renovation 340 South Van Ness San Francisco, CA 94103 for David & Tania Madfes 1400 Portola Drive, San Francisco, CA 94127
Roof Plan
DRAWN DBM DATE 7/15/09
SCALE 1/8" = 1'-0"
CAD FILE SVN.roof.vc3
SHEET
A6

**Notes:**

Except for work on roof, no change from existing



Existing Conditions



Proposed

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**Rear**  
**Elevation**

Drawn: DBM DATE: 7/15/09

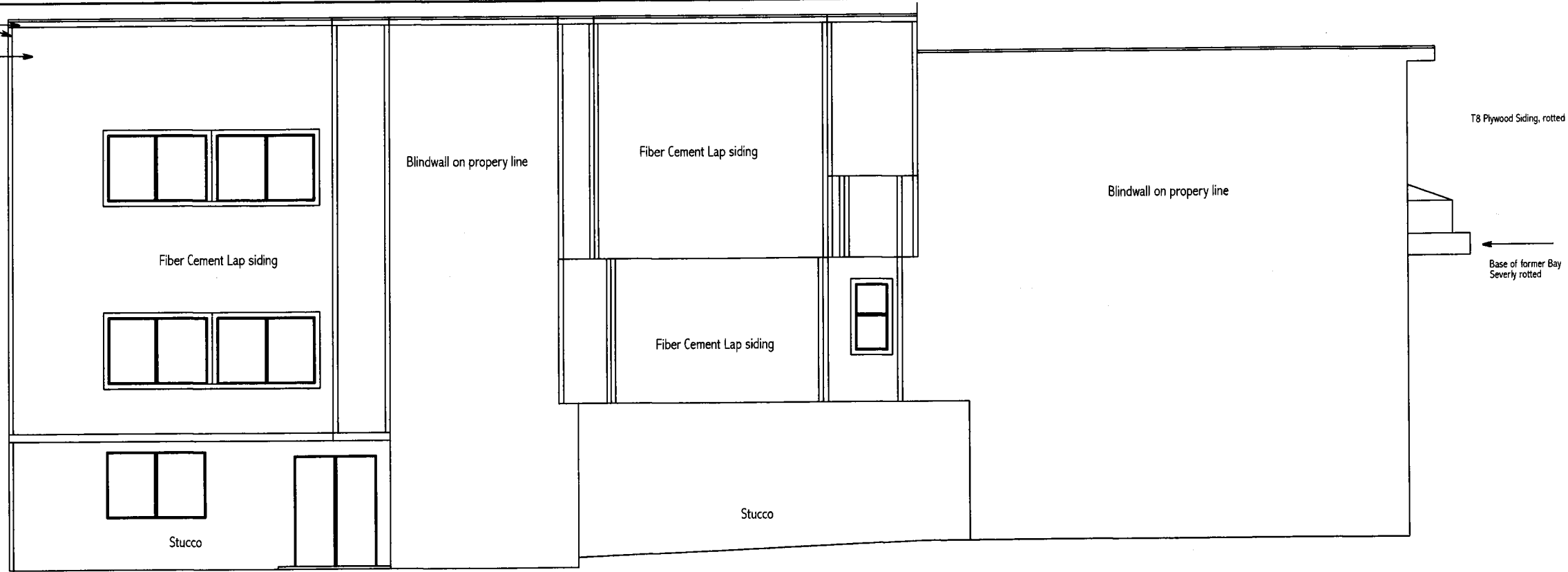
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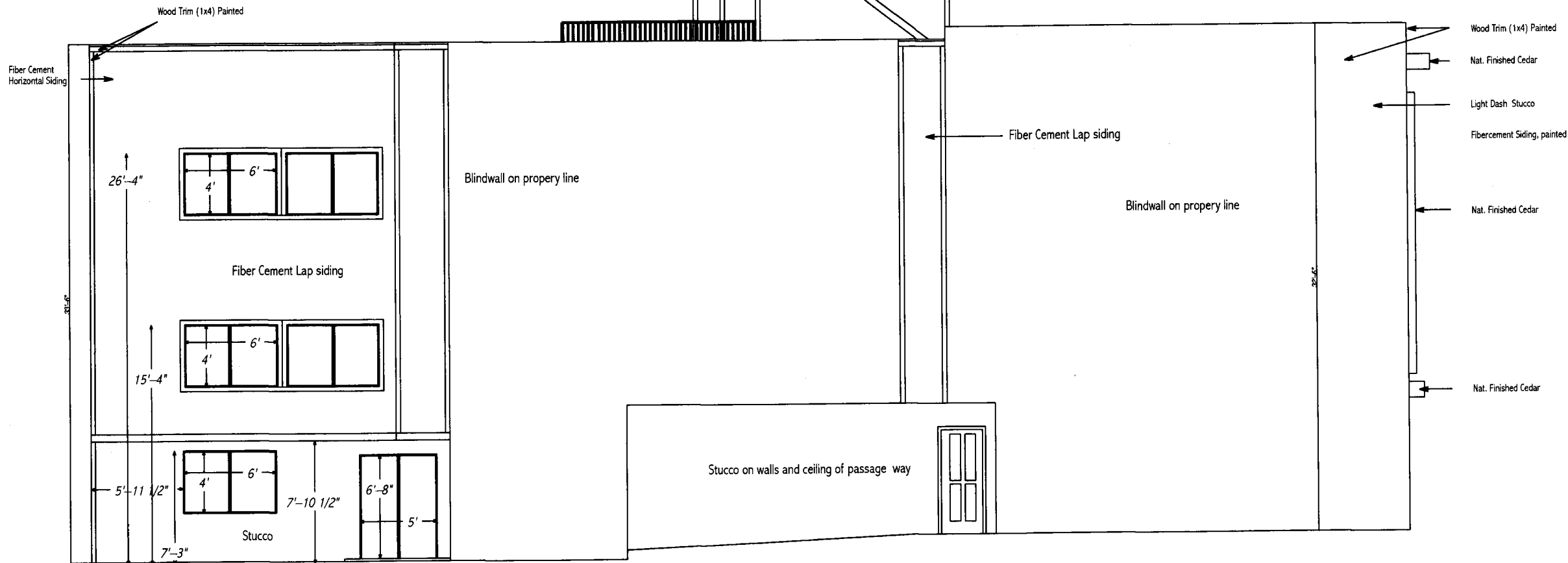
**A7**

Wood Trim (1x4) Painted  
Fiber Cement Horizontal Siding



Existing Conditions

Flues must terminate a min. of 7' above level of decking



Proposed

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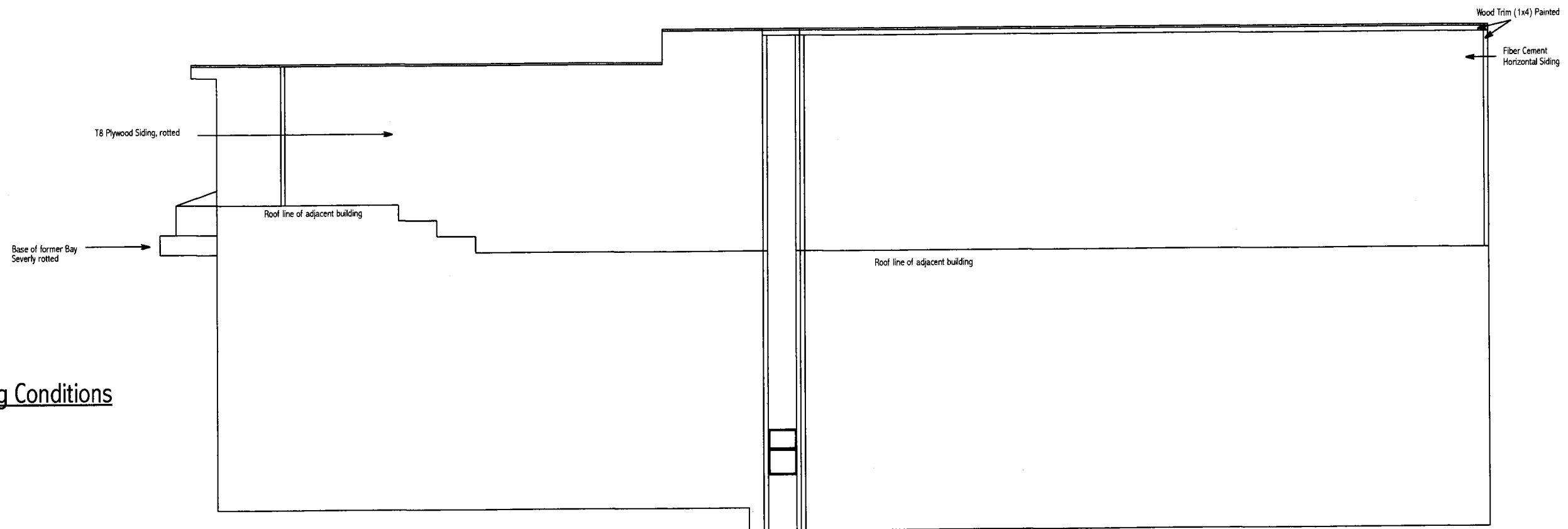
**South**  
**South**

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SHEET

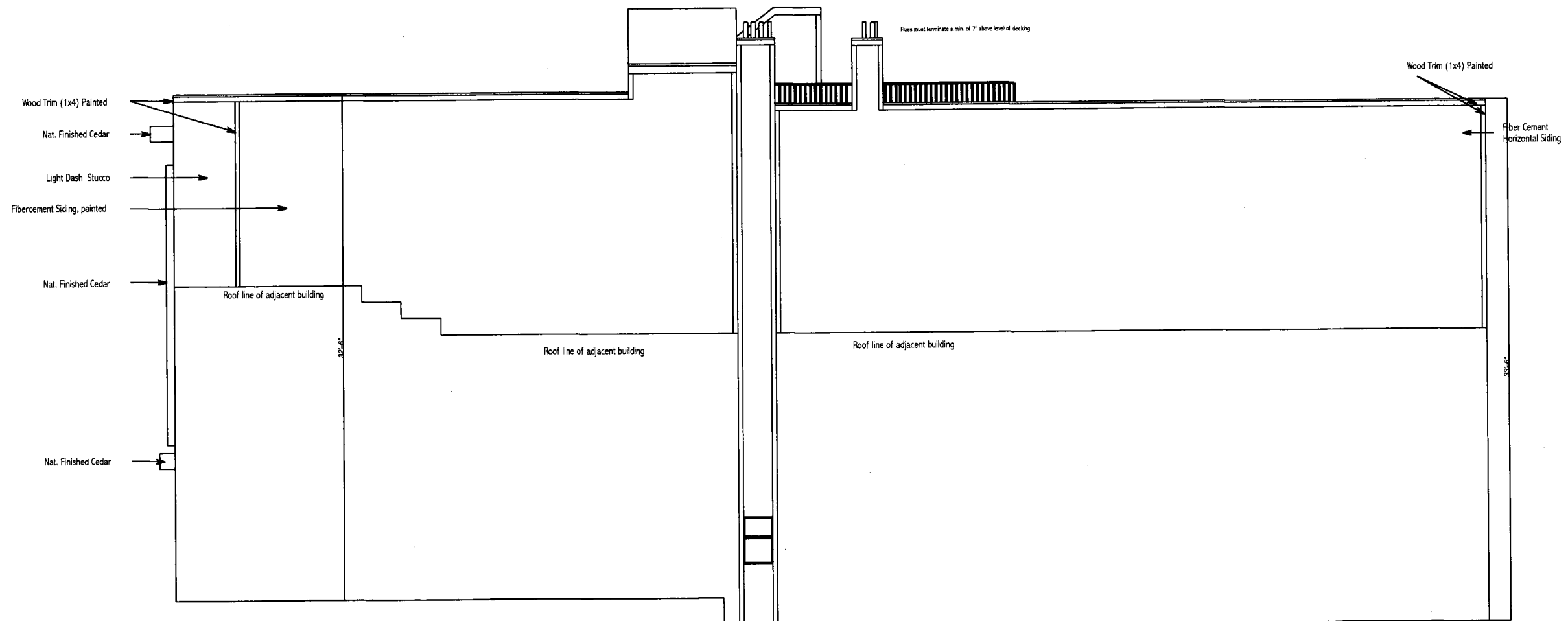
**A8**



Existing Conditions



Proposed



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**North**  
**Elevation**

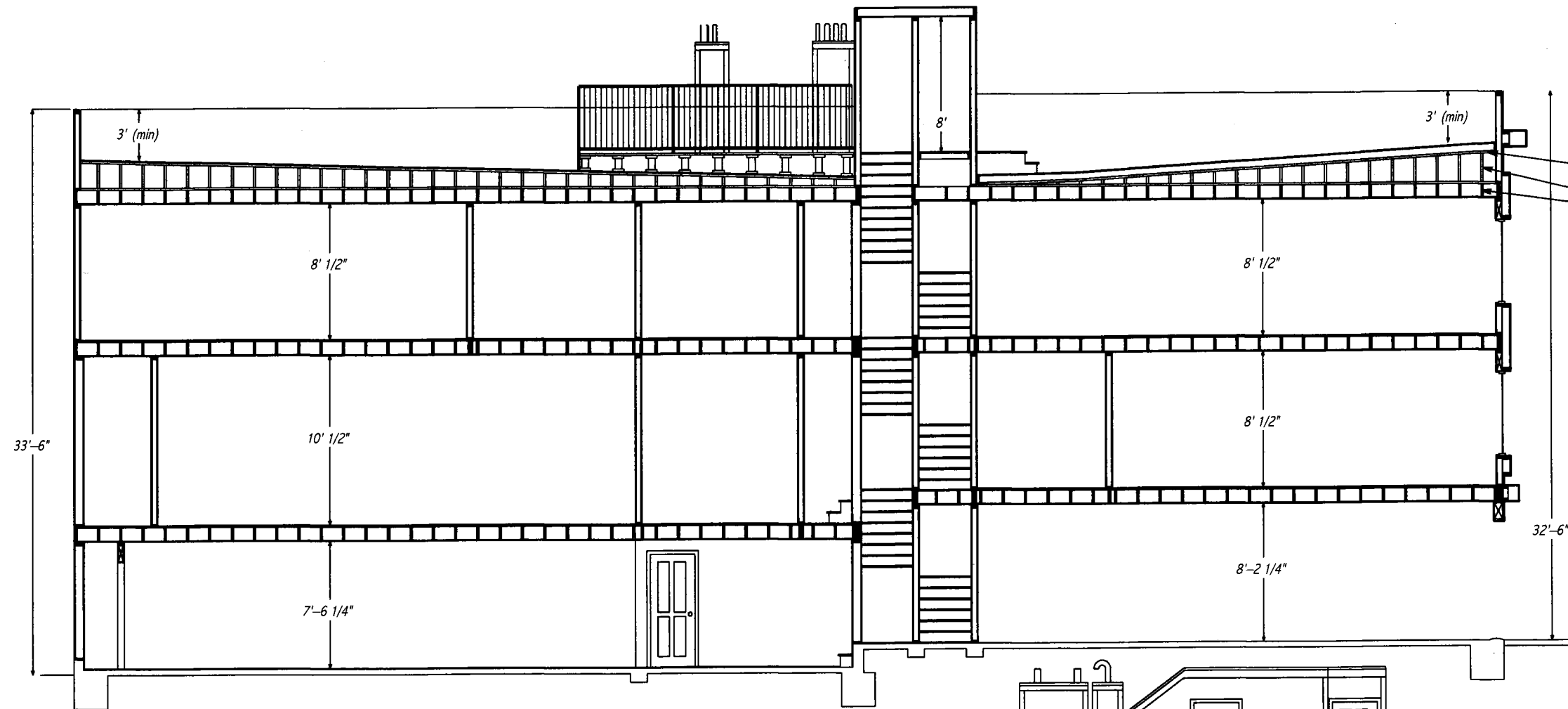
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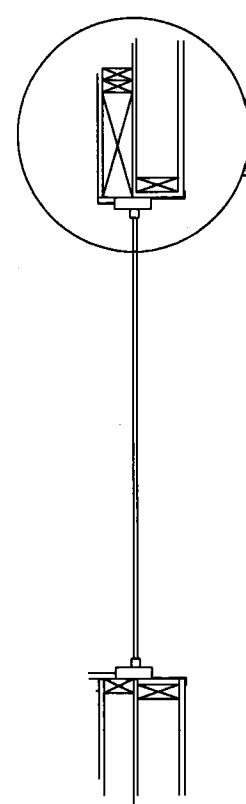
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SHEET

**A9**

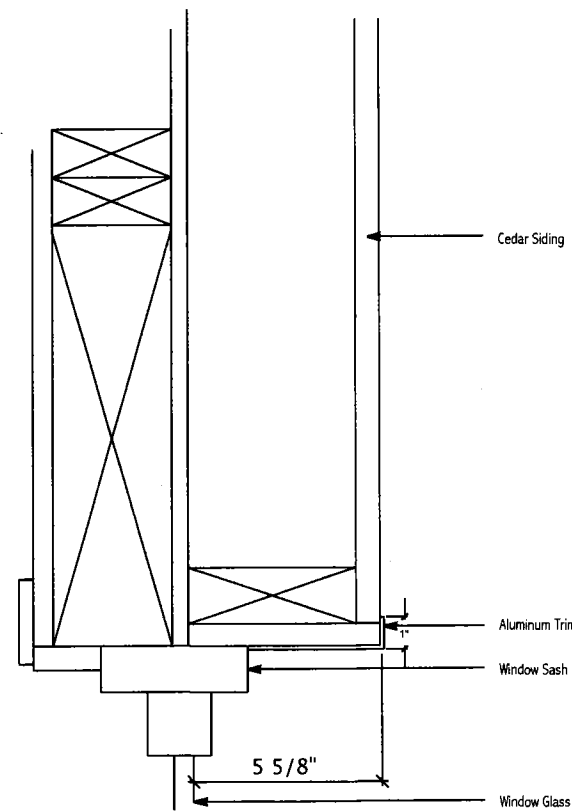


"Rhino" deck support and leveling system  
 3/4" Plywood roof sheathing  
 with modified bituminous roofing  
 2x4 "pony walls" at 24" o.c. to establish roof slope  
 2x10 @ 16" o.c. (former floor of old fourth story)

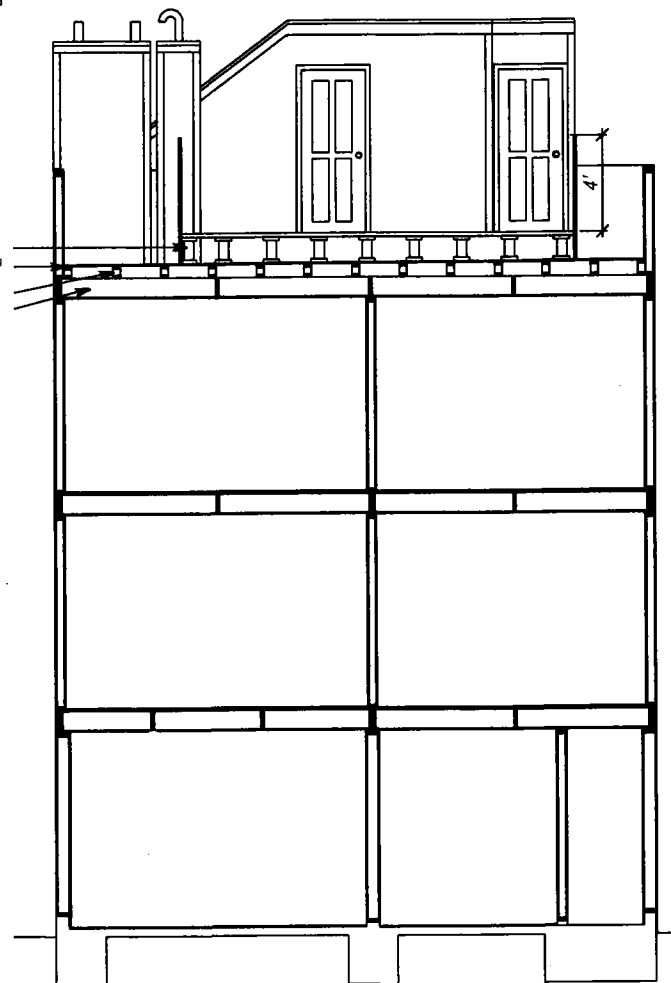


Detail at front window

Section 1



"Rhino" deck support and leveling system  
 3/4" Plywood roof sheathing  
 with modified bituminous roofing  
 2x4 "pony walls" at 24" o.c. to establish roof slope  
 2x10 @ 16" o.c. (former floor of old fourth story)



Section 2

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**Sections**

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SHEET  
**A10**